

CODE DATA SUMMARY		GENERAL NOTES	CONTRACTOR'S NOTES
PROJECT DESCRIPTION	EXTERIOR RENOVATION ON A 13,500 S.F. STRIP CENTER IN BALLWIN (UNINCORPORATED ST. LOUIS COUNTY), MISSOURI	<p>1. BAALMAN ARCHITECTS IS ISSUING THIS SET OF CONSTRUCTION DOCUMENTS TO FACILITATE CONSTRUCTION BY EXPRESSING THE DESIGN CONCEPT OF THIS PROJECT. ADDITIONAL DETAILED SHOP DRAWINGS AND SUBMITTALS WILL BE REQUIRED FOR PROCURING, PLACING AND CONSTRUCTING THE FINISHED WORK.</p> <p>2. BAALMAN ARCHITECTS ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.</p> <p>3. ALL WORK SHALL COMPLY WITH THE CURRENT FEDERAL, STATE AND ALL LOCAL CODES AND ORDINANCES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND SHALL REPORT ANY INCONSISTENCIES TO THE ARCHITECT.</p> <p>4. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DISCREPANCIES SHALL BE CLARIFIED WITH THE ARCHITECT.</p> <p>5. ALL DIMENSIONS ARE TO FACE OF GYP. BOARD, CONCRETE, MASONRY OR BRICK UNLESS OTHERWISE NOTED.</p> <p>6. THE ARCHITECT SHALL REVIEW FOR APPROVAL ALL COLOR SAMPLES. MANUFACTURERS SHALL VERIFY CONFORMANCE WITH THE DESIGN INTENT AND SCOPE OF THE CONTRACT DOCUMENTS.</p> <p>7. CONTRACTOR SHALL VERIFY LOCATION AND SHALL PROVIDE PROTECTION FOR UTILITIES WITHIN THE WORK AREA, WHETHER OR NOT INDICATED IN THE DRAWINGS.</p> <p>8. CONTRACTOR SHALL NOTIFY UTILITY COMPANY AND OWNER IMMEDIATELY SHOULD SERVICE BE INTERRUPTED.</p> <p>9. CONTRACTOR SHALL TAKE STEPS NECESSARY TO PREVENT EROSION DAMAGE ON OR OFF THE SITE AND REPAIR ANY DAMAGE RESULTING FROM THIS WORK AT NO COST TO THE OWNER.</p> <p>10. WHERE POSSIBLE THE CONTRACTOR SHALL AVOID DAMAGING EXISTING TREES AND LANDSCAPING. CONTRACTOR SHALL COORDINATE THE DESTRUCTION OF ANY LANDSCAPE WITH THE ARCHITECT.</p> <p>11. CONTRACTOR SHALL REMOVE ALL SURPLUS MATERIALS, FALSE WORK, TEMPORARY STRUCTURES, INCLUDING FOUNDATIONS AND DEBRIS OF ANY NATURE RESULTING FROM THEIR OPERATIONS, AND PUT THE SITE IN A NEAT AND ORDERLY CONDITION.</p> <p>12. CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT SITE PRIOR TO SUBMITTING PROPOSAL ON THE PROJECT AND NOTIFY THE ARCHITECT AS TO ANY DISCREPANCIES OR CHANGES DISCOVERED.</p> <p>13. SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL PORTIONS OF THE DRAWINGS, SPECIFICATIONS, ADDENDUM AND CHANGE ORDERS THAT PERTAIN TO THEIR WORK. THEY SHALL BE HELD RESPONSIBLE FOR ADHERING TO THOSE REQUIREMENTS AND SHALL NOT PREPARE ANY BID.</p> <p>14. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS.</p> <p>15. ALL INTERIOR PARTITION DIMENSIONS ARE TO FACE OF GYP. BD. WALL UNLESS NOTED OTHERWISE.</p> <p>16. ALL EXPOSED UNFINISHED METAL AND WOOD SHALL BE PAINTED AS PER SPECIFICATION, PAINT TO MATCH ADJACENT COLOR.</p> <p>17. ALL FINISHES AND FINISH MATERIALS, COLORS AND TEXTURES SHALL BE VERIFIED WITH ARCHITECT PRIOR TO INSTALLATION, FABRICATION OR ORDERING.</p>	<p>1. THE CONSTRUCTION DOCUMENTS HAVE BEEN CAREFULLY PREPARED BUT MAY NOT DEPICT EVERY CONDITION TO BE ENCOUNTERED. IT IS THEREFORE THE GENERAL CONTRACTORS & SUBCONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL CONDITIONS OF AFFECTED WORK PRIOR TO SUBMITTING A BID OR STARTING ANY WORK. IF CONDITIONS DIFFER, OR ADDITIONAL WORK IS REQUIRED BEYOND THAT STATED IN THE CONSTRUCTION DOCUMENTS IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING SUCH MATTERS TO THE ATTENTION OF THE ARCHITECT IN A REASONABLE TIME PERIOD.</p> <p>PRIOR TO THE BID SUBMISSION, CONTRACTOR SHALL INCLUDE SUCH INSTANCES IN THEIR BID SUM OR QUALIFY IN THE BID SUBMITTAL.</p> <p>2. ALL CONSTRUCTION DOCUMENTS REPRESENT A COMPREHENSIVE SCOPE OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REFERENCE ALL DRAWINGS, SPECIFICATIONS, ADDENDUM AND CHANGE ORDERS (IF APPLICABLE) TO VERIFY THEIR RESPECTIVE SCOPE OF WORK.</p> <p>3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIAL, EQUIPMENT, MILLWORK, ETC.</p>
JURISDICTION	ST. LOUIS COUNTY FOR BUILDING PERMITS WEST COUNTY FIRE PROTECTION DISTRICT		
BUILDING CODES	CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES AS ADOPTED BY ST. LOUIS COUNTY: 2015 INTERNATIONAL BUILDING CODE, I.B.C. 2014 NATIONAL ELECTRICAL CODE, N.E.C. 2015 INTERNATIONAL MECHANICAL CODE, I.M.C. 2015 INTERNATIONAL PLUMBING CODE, I.P.C. 2009 ICC/ANSI A117.1 - ACCESSIBILITY CODE, I.A.C. CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES AS ADOPTED BY WEST COUNTY FIRE PROTECTION DISTRICT: 2018 INTERNATIONAL FIRE CODE, I.F.C.		
CHAPTER 3 USE GROUP	EXISTING USE GROUP: B-BUSINESS PROPOSED USE: BUSINESS AND RETAIL CENTER		
CHAPTER 6 TYPE OF CONSTRUCTION	CONSTRUCTION TYPE IS 5B		
CHAPTER 5 HEIGHT AND AREA	EXISTING HEIGHT: ONE-STORY - 13,500 S.F. HEIGHT: 40' STORIES: 1 AREA: BASE ALLOWABLE 9,000 S.F. OPEN AREA: 470'/560' = .84-.25 = .59 .59 x 9,000 S.F. = 5,310 S.F. +9,000 S.F. 14,310 S.F. ALLOWABLE 13,500 S.F. ACTUAL		
CHAPTER 6 FIRE RESISTANCE RATING CHART	FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS: NONE		
CHAPTER 7 FLAME SPREAD	PER SECTIONS 803 AND 805 - ALL ITEMS 25 OR LESS TESTED BY ASTM.E84		
CHAPTER 7 SMOKE DEVELOPED	PER SECTIONS 803 AND 805 - ALL ITEMS 450 OR LESS, TESTED BY ASTM.E84		
CHAPTER 8 INTERIOR FINISHES	SHALL COMPLY WITH THE 2015 IBC CHAPTER 8		
CHAPTER 9 FIRE PROTECTION SYSTEMS	NO AUTOMATIC FIRE SPRINKLER SYSTEM		
CHAPTER 9 FIRE EXTINGUISHERS	PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH THE 2015 IBC, 2018 IFC AND PER DIRECTION OF THE FIRE MARSHAL.		
CHAPTER 10 OCCUPANCY LOADS & MEANS OF EGRESS	EXISTING TENANT SPACES - NO CHANGE IN OCCUPANCY EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. TRAVEL DISTANCE IS LESS THAN 200 FT. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR IN ACCORDANCE WITH THE 2015 IBC. UNOBSTRUCTED ACCESS SHALL BE PROVIDED TO REQUIRED EXITS IN ACCORDANCE WITH THE IBC.		
DOORS	ALL DOORS SHALL NOT REQUIRE MORE THAN 5lbs OF FORCE TO OPEN		
SIGNS	ALL SIGNS TO COMPLY WITH THE SIGNAGE SECTION OF THE IBC		

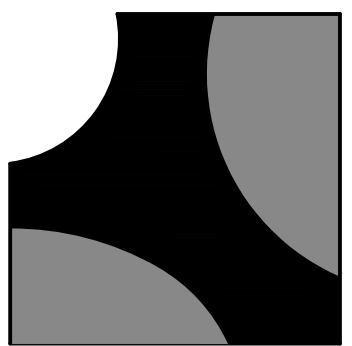
New Exterior Alterations for:

Chester Plaza Retail Center

13830-13844 Manchester Road
Ballwin, Missouri 63011

Drawing Issue: _____ Date: _____
Bid & Permit Set January 16, 2023

- Architectural Drawings
- A0 Cover Sheet, Code Data Summary and Notes
 - A1 Floor Plan and Details
 - A2 Exterior Elevations
 - A3 Wall Sections
 - A4 Door & Window Types



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PROJECT MANAGER: MJB
DRAWN BY: JKL

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SHEET
A0
COVER SHEET
& CODE INFO.

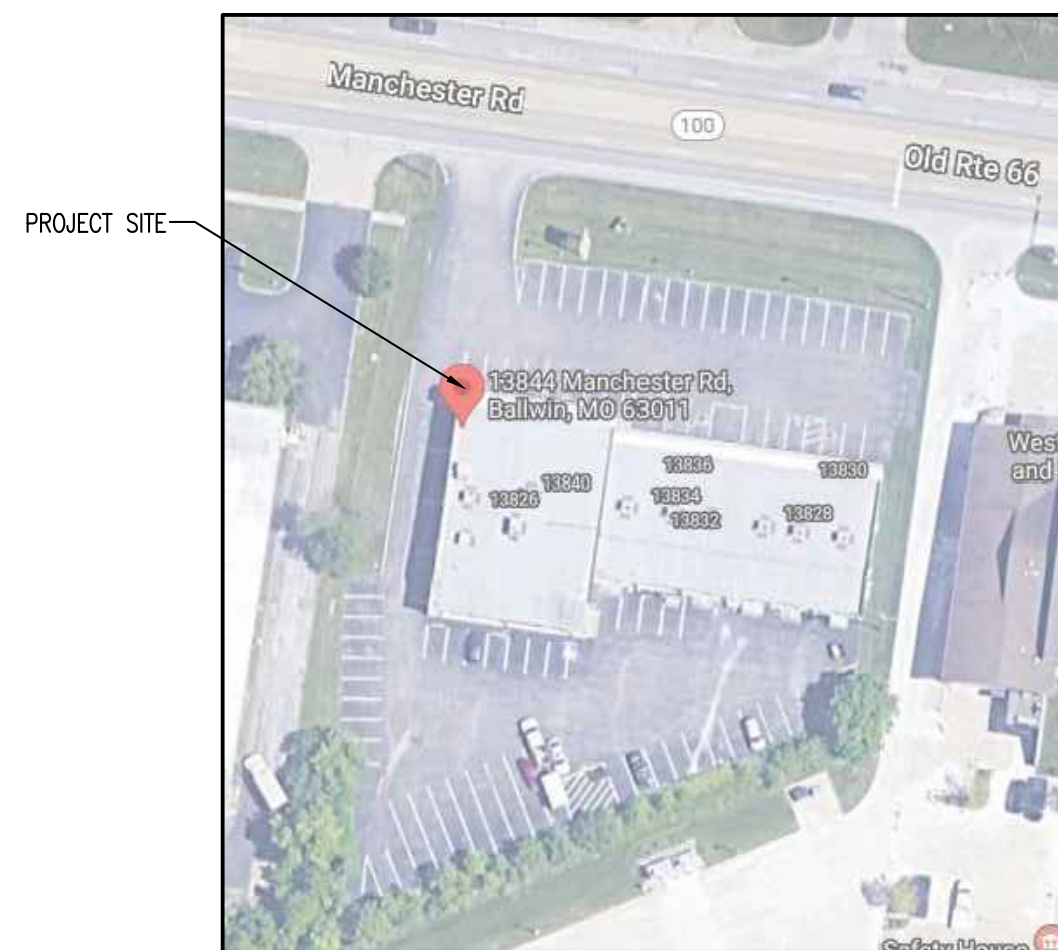
Design Team:

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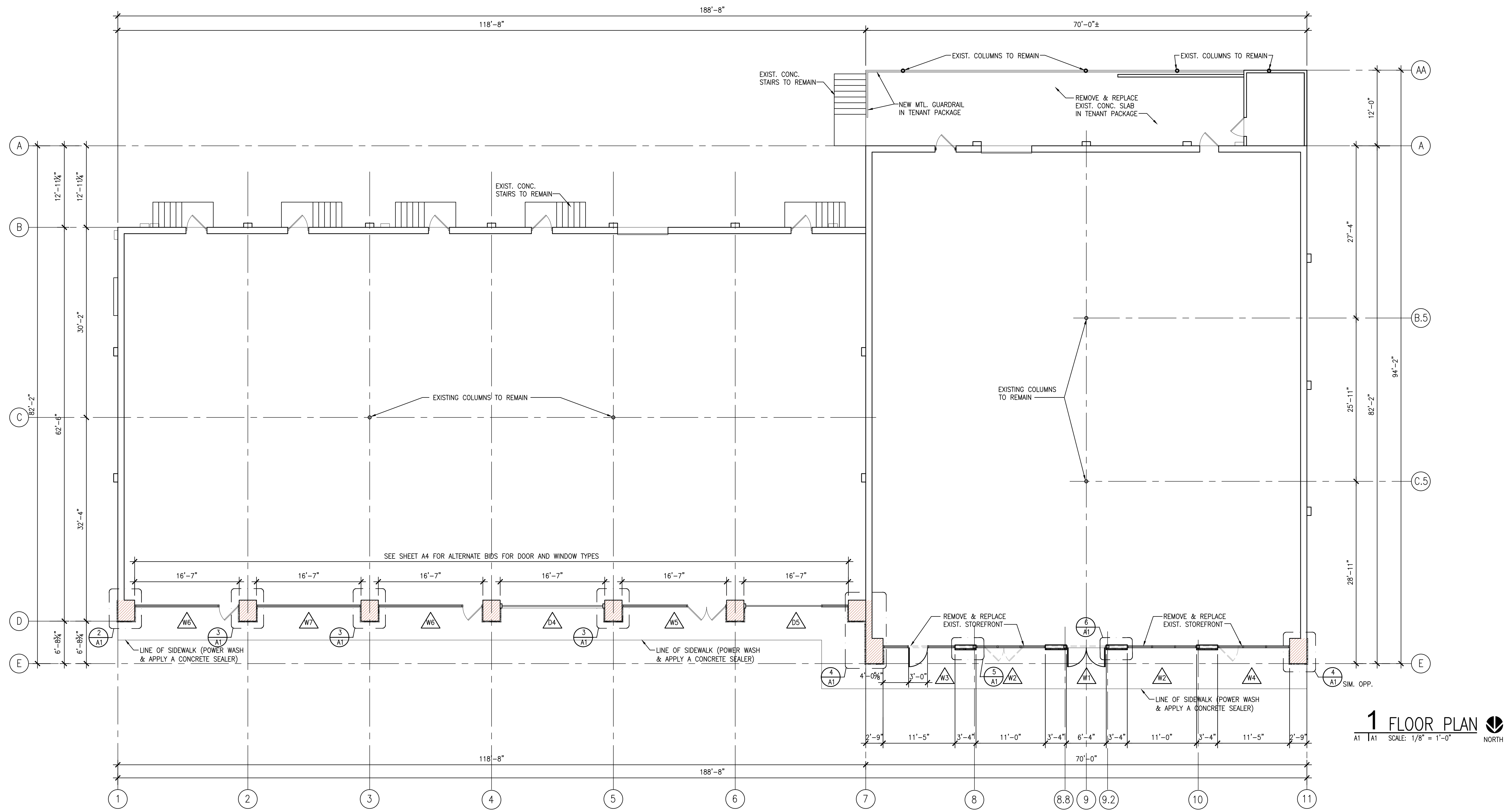
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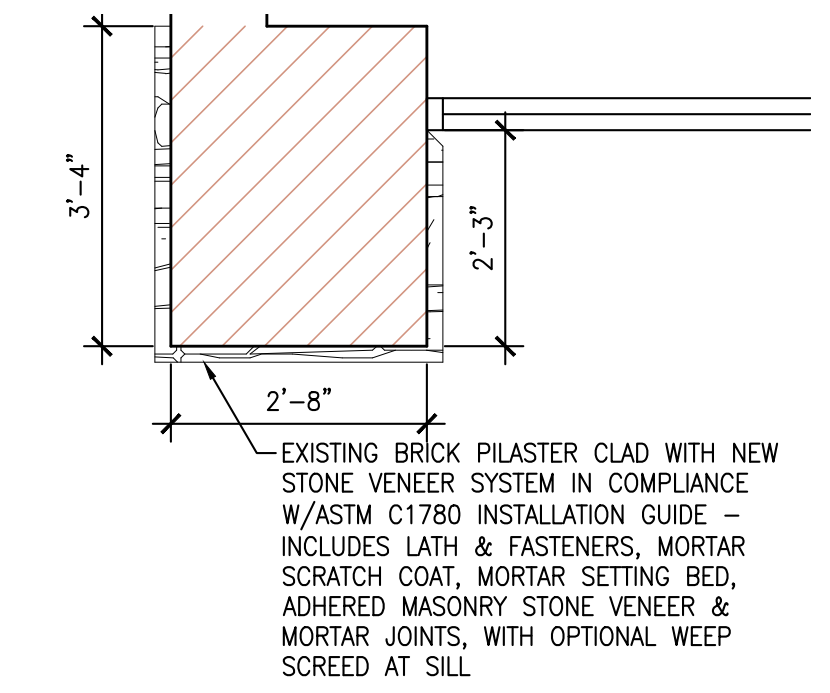
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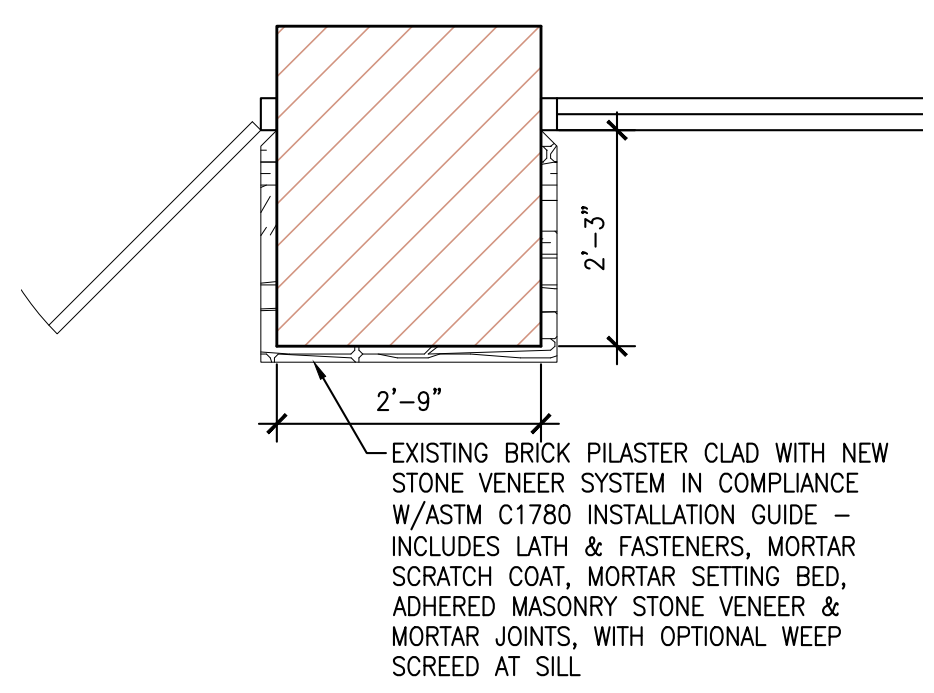
1 LOCATION PLAN
A0 1A0 SCALE: N.T.S. NORTH



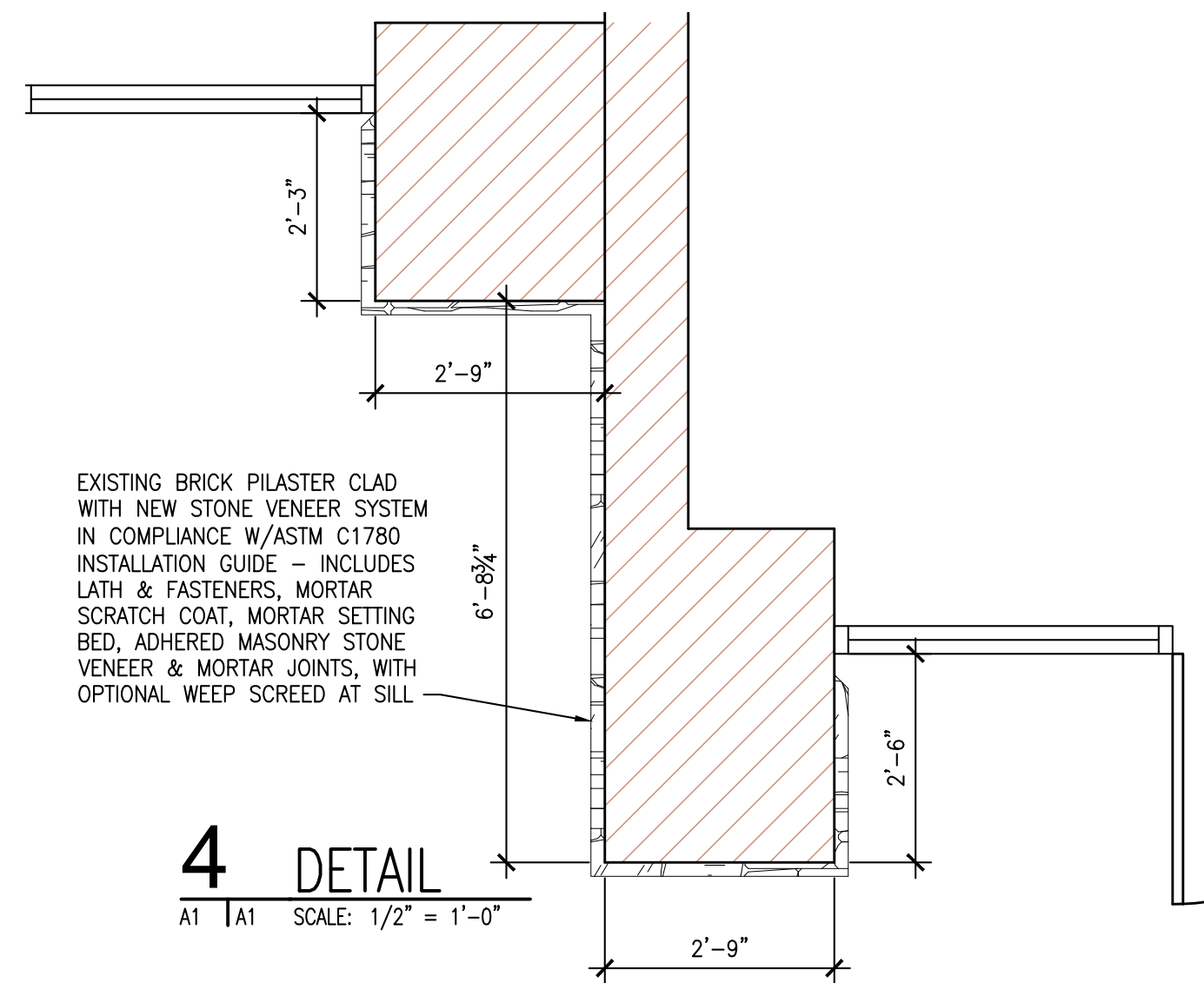
1 FLOOR PLAN
 A1 | A1 SCALE: 1/8" = 1'-0" NORTH



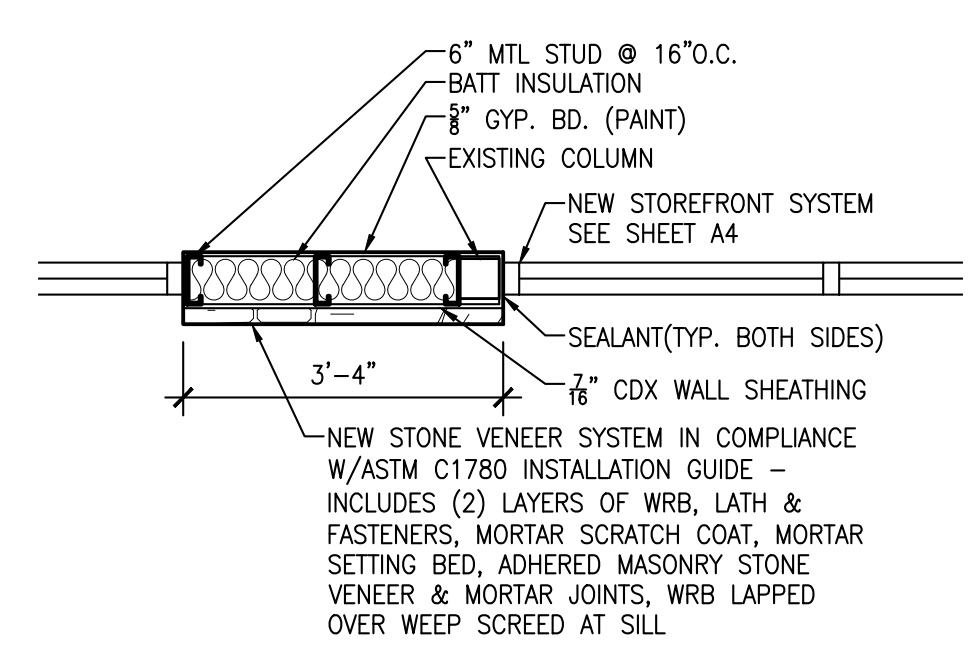
2 DETAIL
 A1 | A1 SCALE: 1/2" = 1'-0"



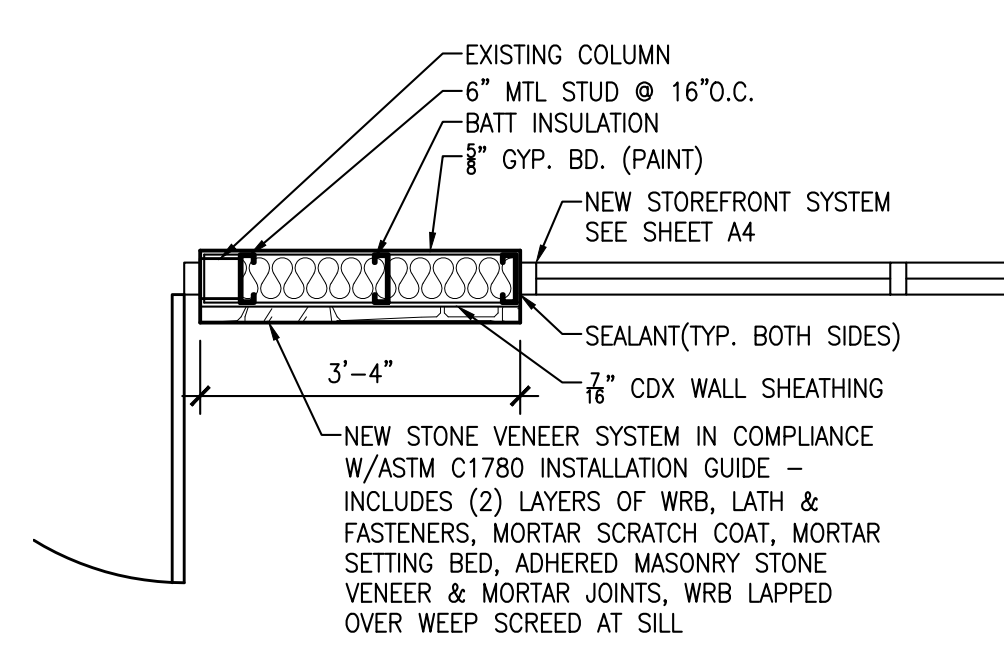
3 DETAIL
 A1 | A1 SCALE: 1/2" = 1'-0"



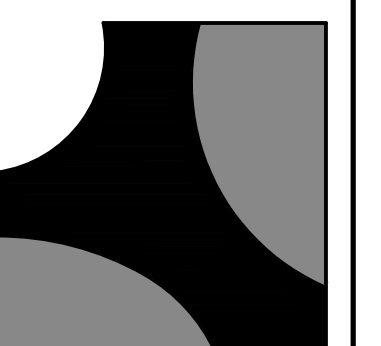
4 DETAIL
 A1 | A1 SCALE: 1/2" = 1'-0"



5 DETAIL
 A1 | A1 SCALE: 1/2" = 1'-0"



6 DETAIL
 A1 | A1 SCALE: 1/2" = 1'-0"



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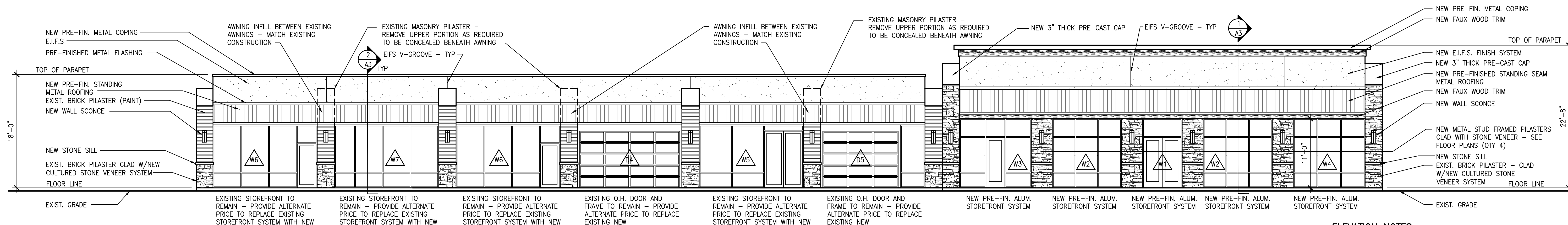


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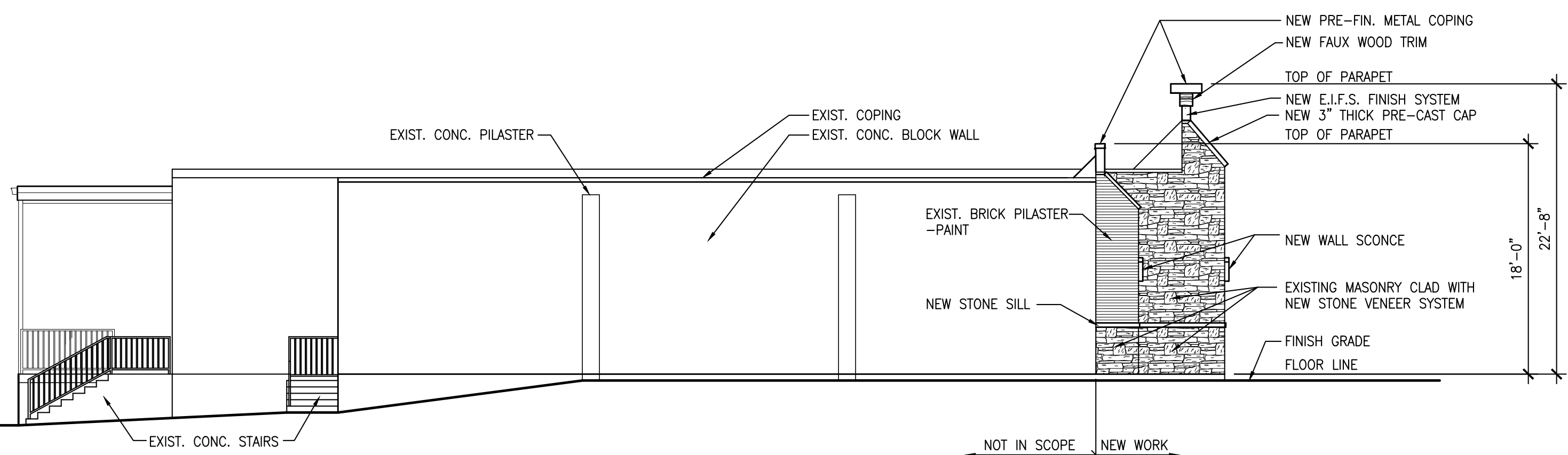
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SHEET
A1
 FLOOR
 PLAN

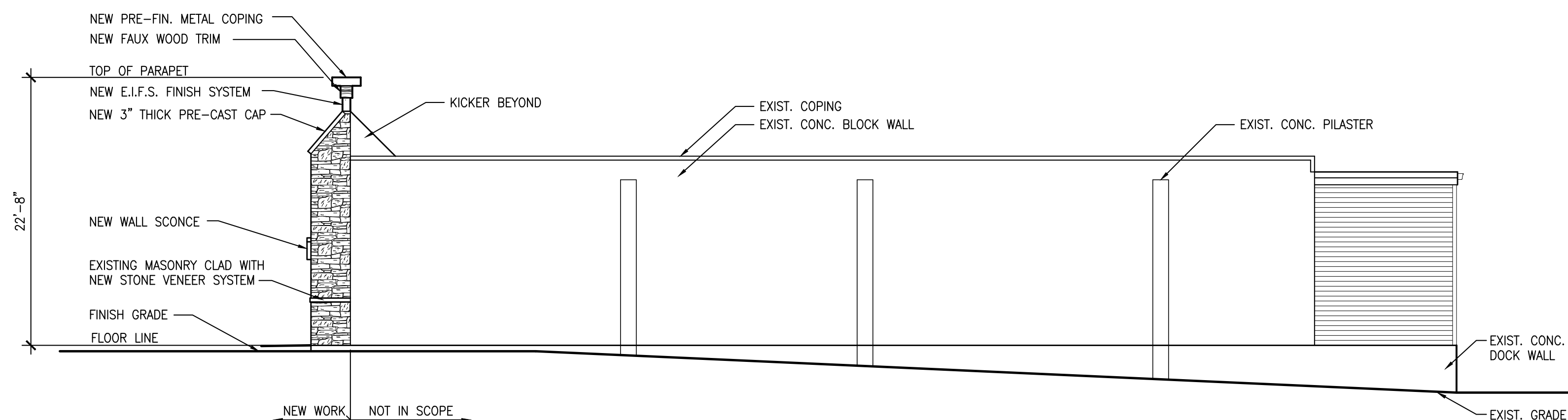


1 NORTH ELEVATION
 A2 | A2 SCALE: 1/8" = 1'-0"

- ELEVATION NOTES:**
- ELEVATION DRAWINGS HAVE BEEN PREPARED BASED UPON FIELD OBSERVATIONS AND WITHOUT THE AID OF EXISTING BUILDING DRAWINGS. CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY DISCREPANCIES DURING THE COURSE OF BIDDING & CONSTRUCTION.
 - EXISTING CONSTRUCTION TO BE REMOVED AND DISPOSED OF AS REQUIRED TO FACILITATE THE NEW EXTERIOR FACADE DESIGN, INCLUDING BUT NOT LIMITED TO: ALUMINUM FRAMED FABRIC AWNINGS, EXISTING ROOFING & ACCESSORIES AT EXISTING WOOD AWNINGS, EXISTING ALUM. SOFFITS, FLASHING, EXISTING SOFFIT LIGHTING, ETC...



2 EAST ELEVATION
 A2 | A2 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
 A2 | A2 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS AND FINISH SCHEDULE

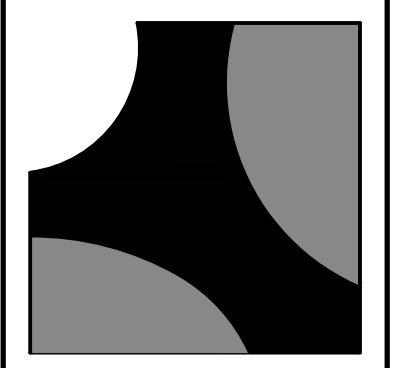
MATERIAL	MANUFACTURER	PRODUCT	COLOR	NOTES
STOREFRONT SYSTEM	U.S. ALUMINUM	451	DARK BRONZE	WITH 1" INSULATED GLASS
STANDING SEAM ROOF	CENTRAL STATES	CENTRAL SNAP	BURNISHED SLATE	24 GAUGE
METAL FLASHINGS, TRIM & COPING	CENTRAL STATES		BURNISHED SLATE	24 GAUGE
EIFS	DRYVT		#104 DOVER SKY	SAND PEBBLE FINE. PROVIDE WATER MANAGEMENT SYSTEM ALL ACCESSORIES
STONE VENEER SYSTEM	ELDORADO STONE	CLIFFSTONE	BOARDWALK	MORTARED WITH LIGHT-BUFF MORTAR - INTEGRAL WATERPROOFING INSTALL STONE PER MFR INSTRUCTIONS INCLUDING ALL ACCESSORIES
PRECAST STONE CAPS	CALIBER CAST STONE		NATURAL	
FAUX WOOD TRIM	TREX	FASCIA BOARD	TOASTED SAND	BUILD-UP AS REQUIRED TO MATCH DETAIL PROFILES
FAUX WOOD TRIM	TREX	FASCIA BOARD	TOASTED SAND	BUILD-UP AS REQUIRED TO MATCH DETAIL PROFILES
PAINT	SHERWIN WILLIAMS	EXTERIOR PAINT	SW 7017 DORIAN GRAY SATIN FINISH	A-100 EXTERIOR ACRYLIC LATEX. PREP + PRIME + 2 TOP COATS

- NOTES:**
- PROVIDE SHOP DRAWINGS AND MATERIAL SUBMITTALS OF EXTERIOR MATERIALS FOR REVIEW AND APPROVAL BY OWNER & ARCHITECT.
 - PROVIDE ALL NECESSARY FASTENERS, HARDWARE AND ACCESSORIES AS REQUIRED TO PROVIDE A COMPLETE FINISHED INSTALLATION.

EXTERIOR LIGHTING

FIXTURE	SPECIFICATIONS	NOTES
WALL SCONCES	TLI - ALLEGRO W LED, TEXTURED BLACK (QTY. 11)	PROVIDE ELECTRICAL SERVICE AND SWITCHING AS REQUIRED
LED LIGHT STRIP LIGHT	NOVA FLEX - FLEX LINE 2.0 STATIC WHITE - SURFACE MOUNTED FROSTED LENS (68 LINEAL FEET +/-)	PROVIDE ELECTRICAL SERVICE AND SWITCHING AS REQUIRED
RECESSED CAN LIGHTS	4" LED - WHITE EXTERIOR GRADE (QUANTITY - 11, CENTER ABOVE EACH STOREFRONT OPENING)	PROVIDE ELECTRICAL SERVICE AND SWITCHING AS REQUIRED

- LIGHTING NOTES:**
- COORDINATE COLOR RENDERING/TEMPERATURE OF ALL LIGHTING SOURCES.
 - PROVIDE SHOP DRAWINGS AND MATERIAL SUBMITTALS OF ALL LIGHTING FIXTURES FOR REVIEW AND APPROVAL BY OWNER & ARCHITECT.



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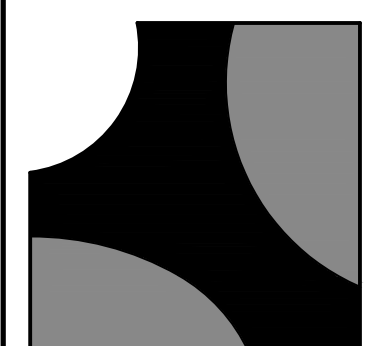


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SHEET
A2
 EXTERIOR
 ELEVATIONS



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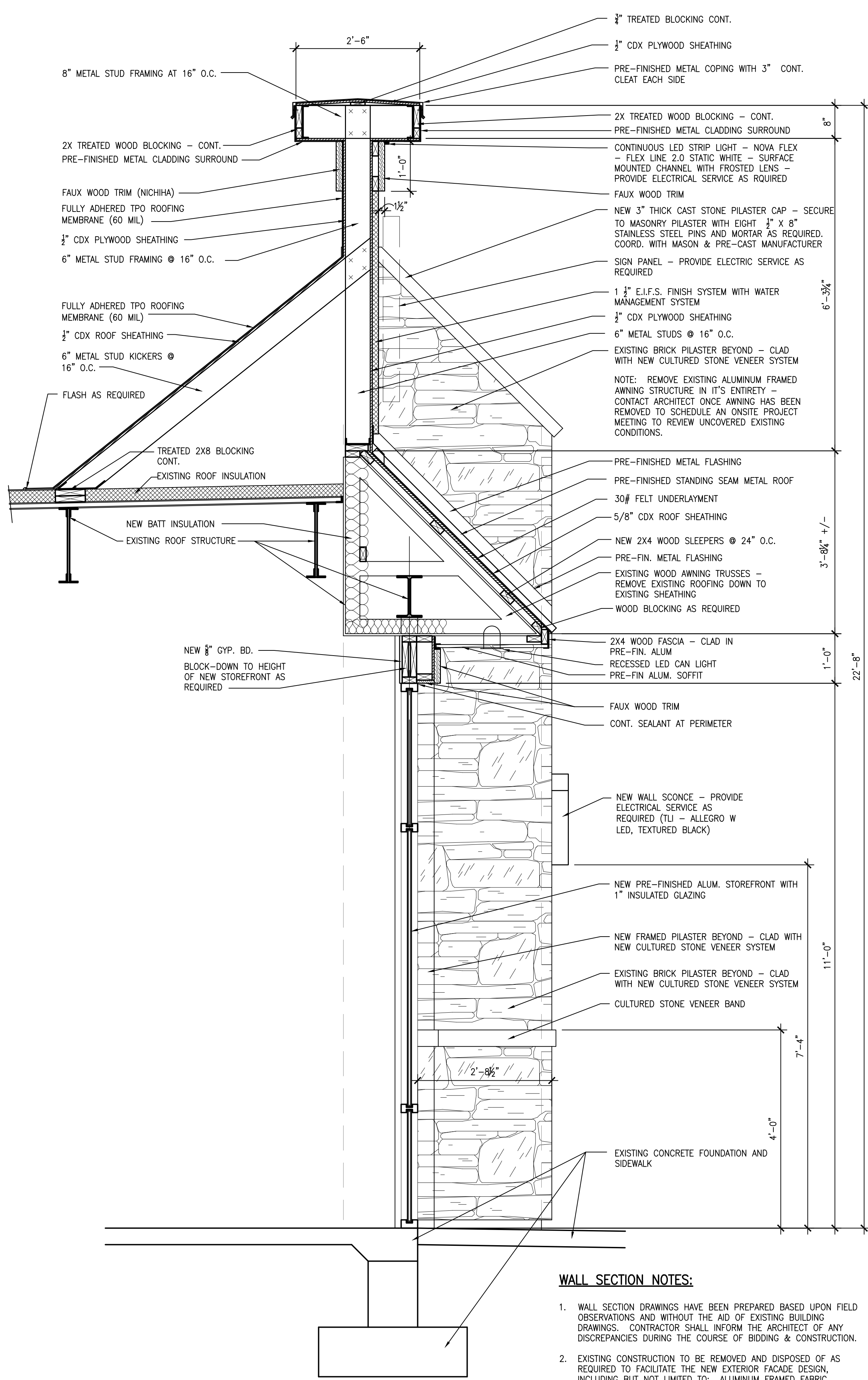


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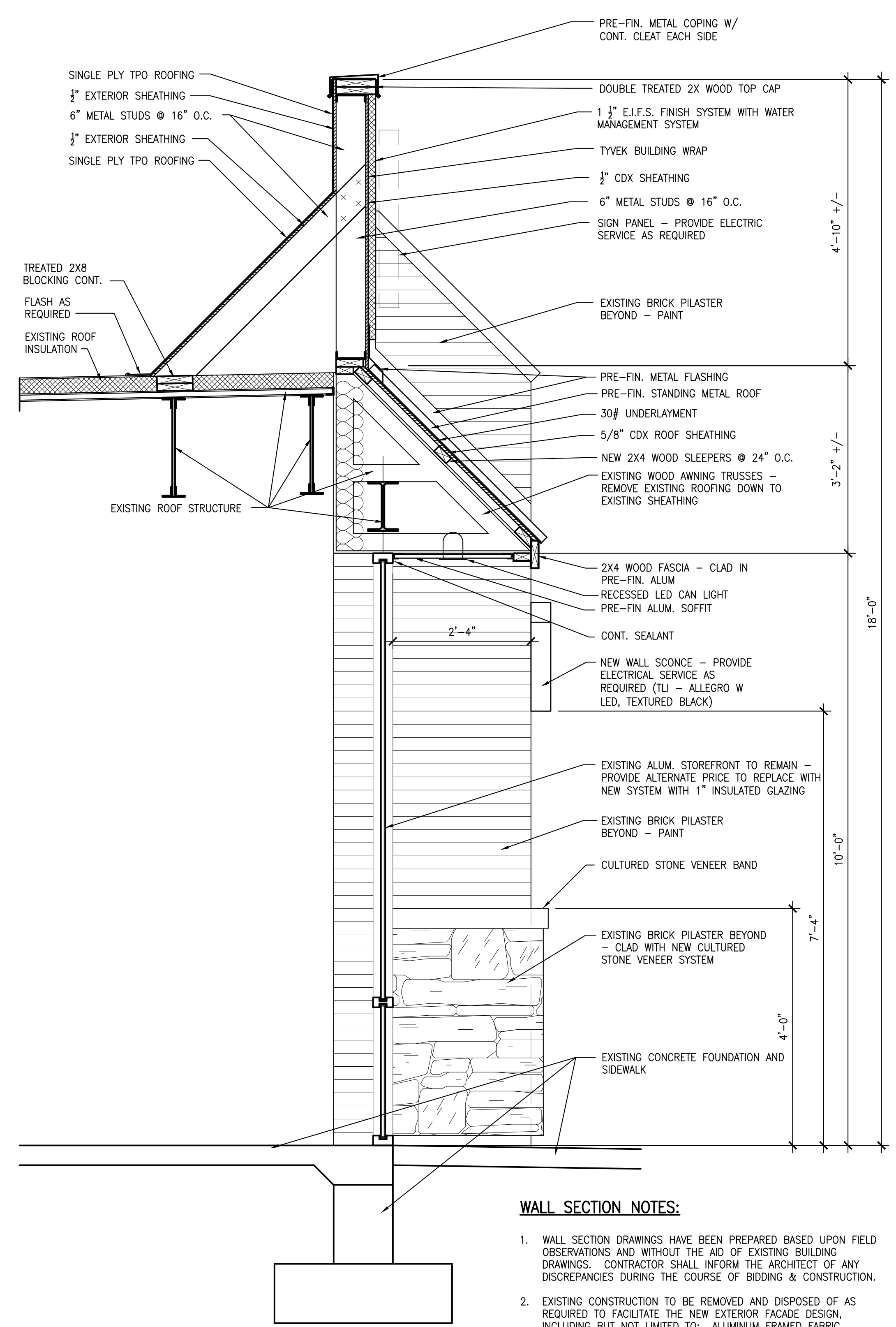
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SHEET
A3
 WALL SECTIONS



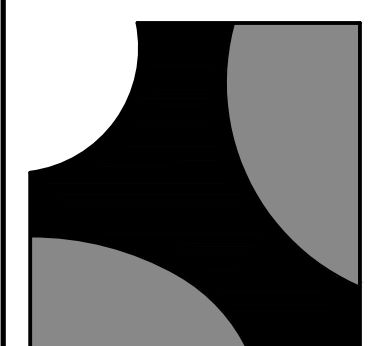
- WALL SECTION NOTES:**
1. WALL SECTION DRAWINGS HAVE BEEN PREPARED BASED UPON FIELD OBSERVATIONS AND WITHOUT THE AID OF EXISTING BUILDING DRAWINGS. CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY DISCREPANCIES DURING THE COURSE OF BIDDING & CONSTRUCTION.
 2. EXISTING CONSTRUCTION TO BE REMOVED AND DISPOSED OF AS REQUIRED TO FACILITATE THE NEW EXTERIOR FACADE DESIGN, INCLUDING BUT NOT LIMITED TO: ALUMINUM FRAMED FABRIC AWNINGS, EXISTING ROOFING & ACCESSORIES AT EXISTING WOOD AWNINGS, EXISTING ALUM. SOFFITS, FLASHING, EXISTING SOFFIT LIGHTING, ETC...

1 WALL SECTION
 A3 | A3 SCALE: 3/4" = 1'-0" @ TALL WALL



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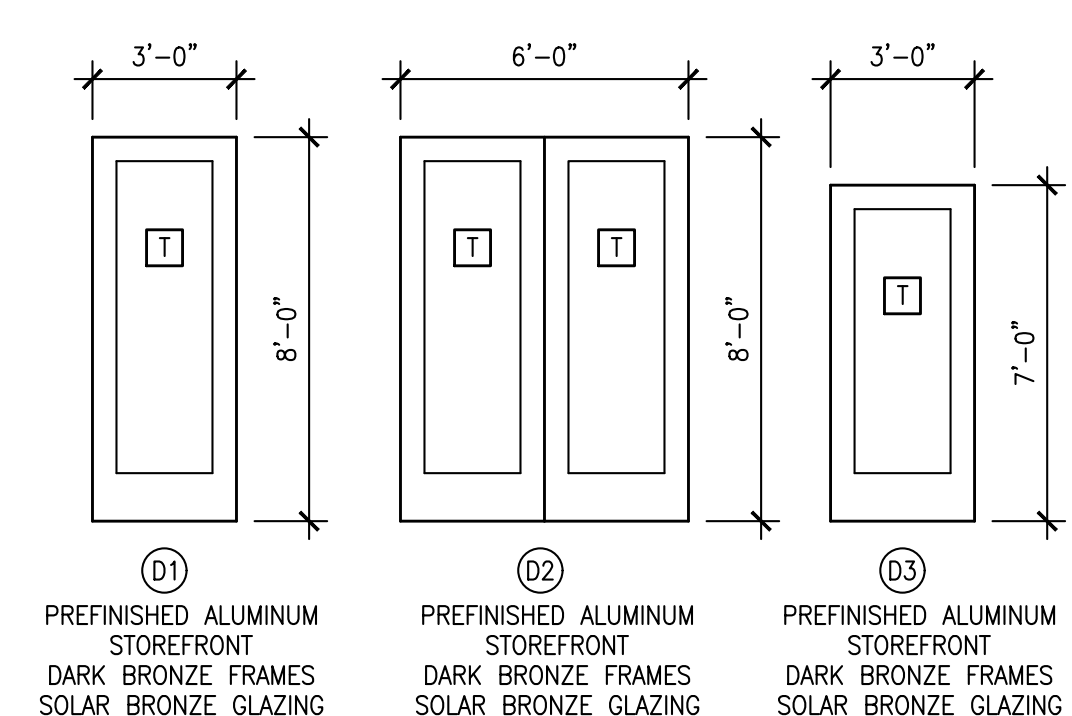
2 WALL SECTION
 A3 | A3 SCALE: 3/4" = 1'-0" @ SHORT WALL



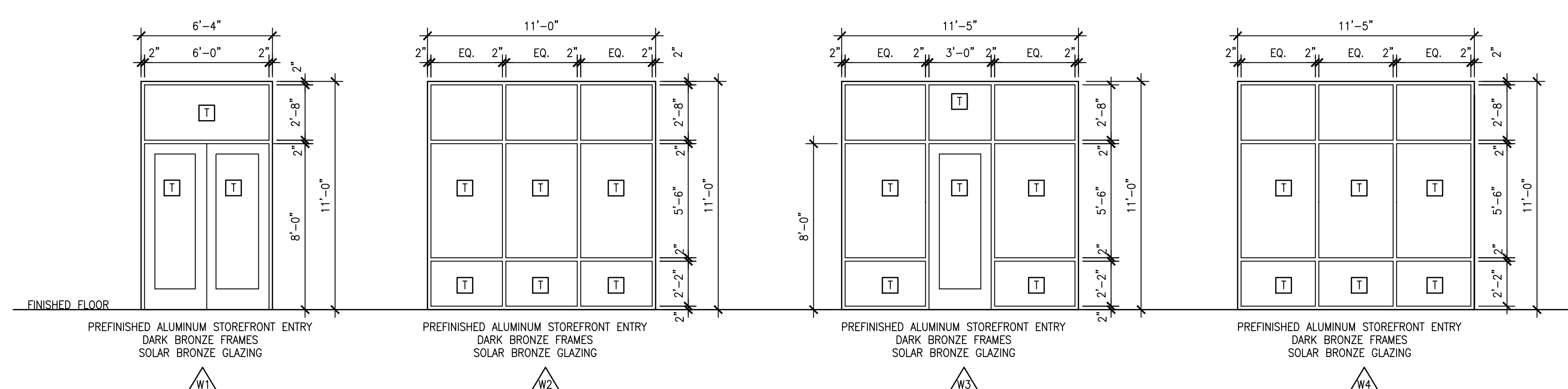
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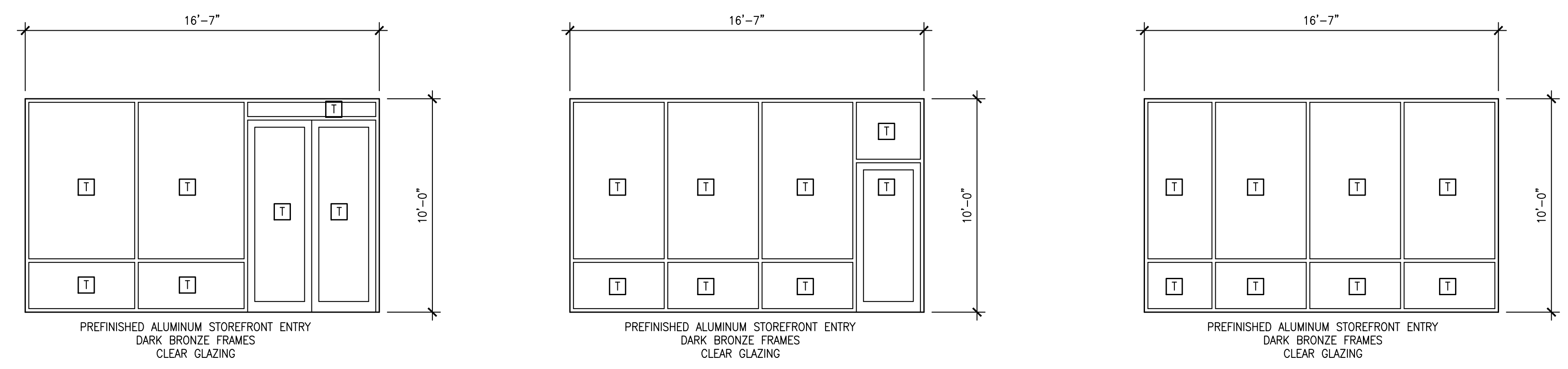
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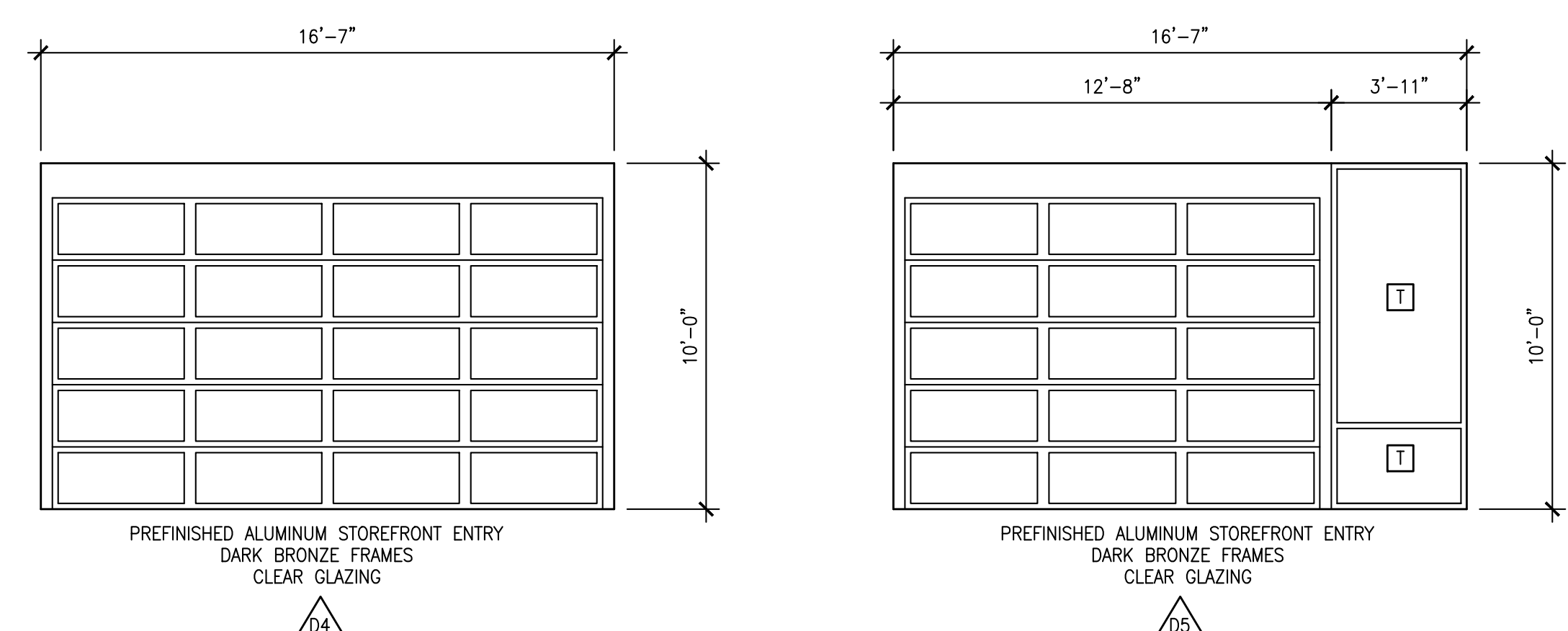
1 DOOR TYPES
 A4 | A1 SCALE: 1/4" = 1'-0" T TEMPERED GLASS



2 STOREFRONT AND ALUMINUM WINDOW TYPES
 A4 | A1 SCALE: 1/4" = 1'-0"



3 ALTERNATES - STOREFRONT AND ALUMINUM WINDOW TYPES
 A4 | A1 SCALE: 1/4" = 1'-0"



4 ALTERNATES - PREFINISHED ALUMINUM & GLASS GARAGE DOORS AND STOREFRONT
 A4 | A1 SCALE: 1/4" = 1'-0"

STOREFRONT AND OVERHEAD DOOR ALTERNATE INSTRUCTIONS

1. CONTRACTOR TO PROVIDE ALTERNATE PRICE TO INSTALL NEW STOREFRONT AND OVERHEAD DOORS FOR OPENINGS: W5, W6, W7, D4 & D5.
2. ALTERNATE SHOULD INCLUDE ALL WORK REQUIRED INCLUDING: DEMOLITION OF EXISTING STOREFRONTS/DOORS, PREPARATION OF OPENINGS, INSTALLATION OF NEW STOREFRONTS/DOORS, TRIM, SEALANTS, ETC... FOR A COMPLETE INSTALLATION.
3. PROVIDE A LINE ITEM ALTERNATE PRICE FOR EACH INDIVIDUAL OPENING - A LA CARTE.
4. PROVIDE ANOTHER LINE ITEM IF ALL OPENINGS ARE TO BE SELECTED.

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 DOOR &
 WINDOW
 TYPES